

PROPOSED GROUND FLOOR

Profile 50mm Klingspan Kootherm K12 framing board between timbers and 37.5mm Klingspan Kootherm K18 insulated plasterboard fixed to finiers metal studs.
 U-value of not more than 0.28 W/m²K is to be achieved.

Neighbour's existing rear extension
 102mm face brick outer leaf & 100 x 125 mm 'Cakor' standard blockwork/3.8N/m² with 13 mm plaster or plasterboard on dabs to form internal finish
 100mm cavity filled with rockwool bats or 'Dethmer' to achieve U value 0.28 W/m²K

All glass below 800mm to be Toughened safety glazing to be provided all windows or within 300mm of a door.
 Contractor to provide Pilkington K Glass or equivalent with U-Value of 1.6 W/m²K and 16mm Cavity.
 Trickle ventilator with an opening area of at least 8000mm² with apartments.
 Windows to be UPVC, all glass to be in accordance with BS: 6252: 1982 or any subsequent revisions.
 Provide and lay 100 x 150 mm deep reinforced concrete lintels where existing and new drainage pipes pass below new foundation work.

Neighbour's proposed rear and side return extension
 Provide and lay 100 x 150 mm deep reinforced concrete lintels where existing and new drainage pipes pass below new foundation work.

Kitchen the extract rate to be 30 liters per second If located above the hob or 60 liters per second If located elsewhere.

Neighbour's proposed rear and side return extension

All new drains to be connected to new manhole and from there to the mains. Thames water to be notified before connecting to mains. Location of mains to be confirmed on site.
 Break out existing manhole and reinstate open channels with closed junction channels and make good the hole of existing manhole Obtain rodding access by building a new man hole at ground level and connecting it via a length of pipe and a 45° bend to a 45° junction on the main drain

REV	DATE	NOTES

CLIENT
MR & MRS H

DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT DRAWING AND SPECS. DRAWINGS NOT TO BE SCALED. FIGURED DIMENSIONS ONLY. ANY DISCREPANCIES ARE TO BE POINTED TO THE ARCHITECT. THE ARCHITECT IS NOT LIABLE FOR ANY FAULTS NOT RAISED. DRAWINGS NOT TO BE SCALED FOR LAND TRANSFER PURPOSES

PROJECT
**STOKENCHURCH STREET
 LONDON SW6**

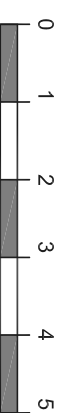
DRAWING TITLE
**PROPOSED GROUND
 FLOOR PLANS**

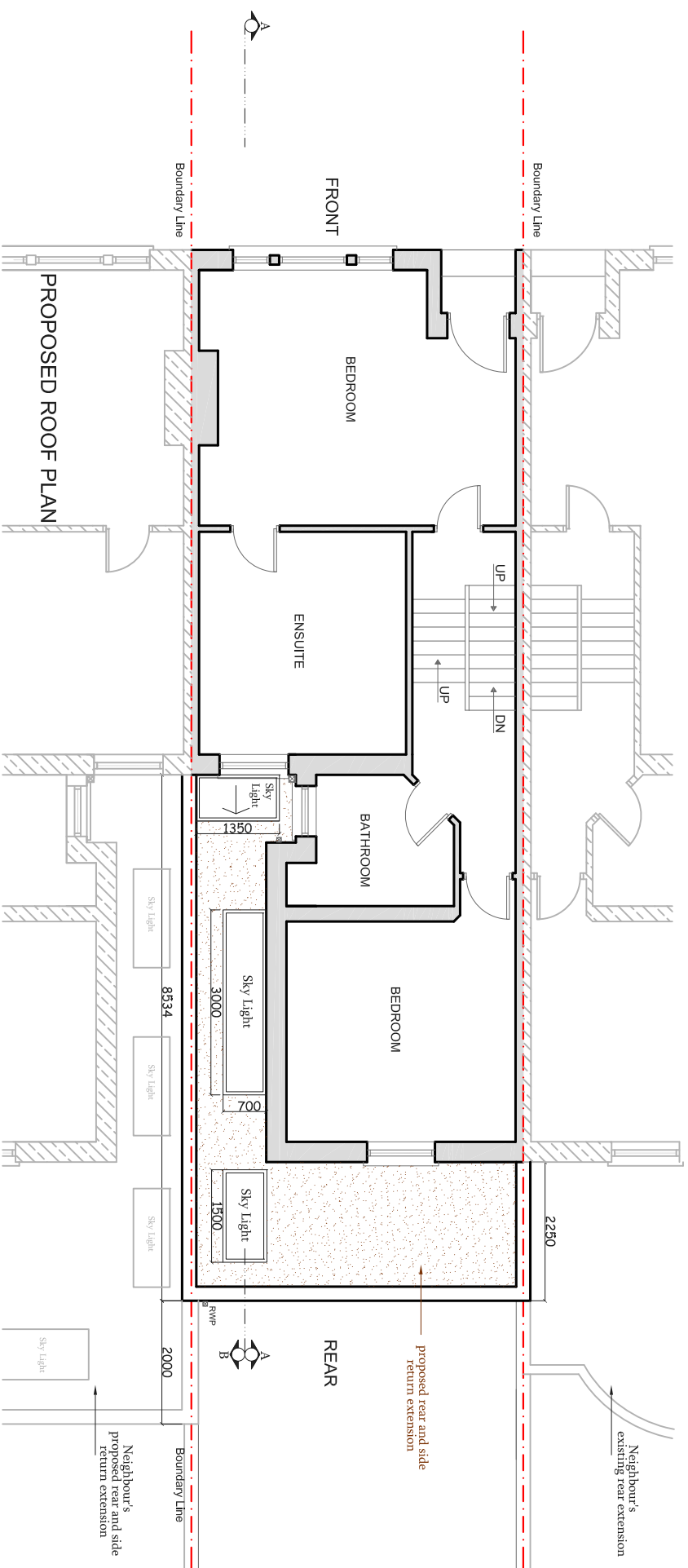
SCALE 1:100@A3	DRAWING NO. P1	REV.
DATE DRAWN 18-12-12 ENL		

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PROJECT
**STOKENCHURCH STREET
LONDON SW6**

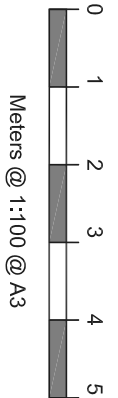
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**PROPOSED FIRST FLOOR
PLAN**

SCALE
1:100@A3

DATE
18-12-12 ENL

DRAWING NO.
P2

REV.

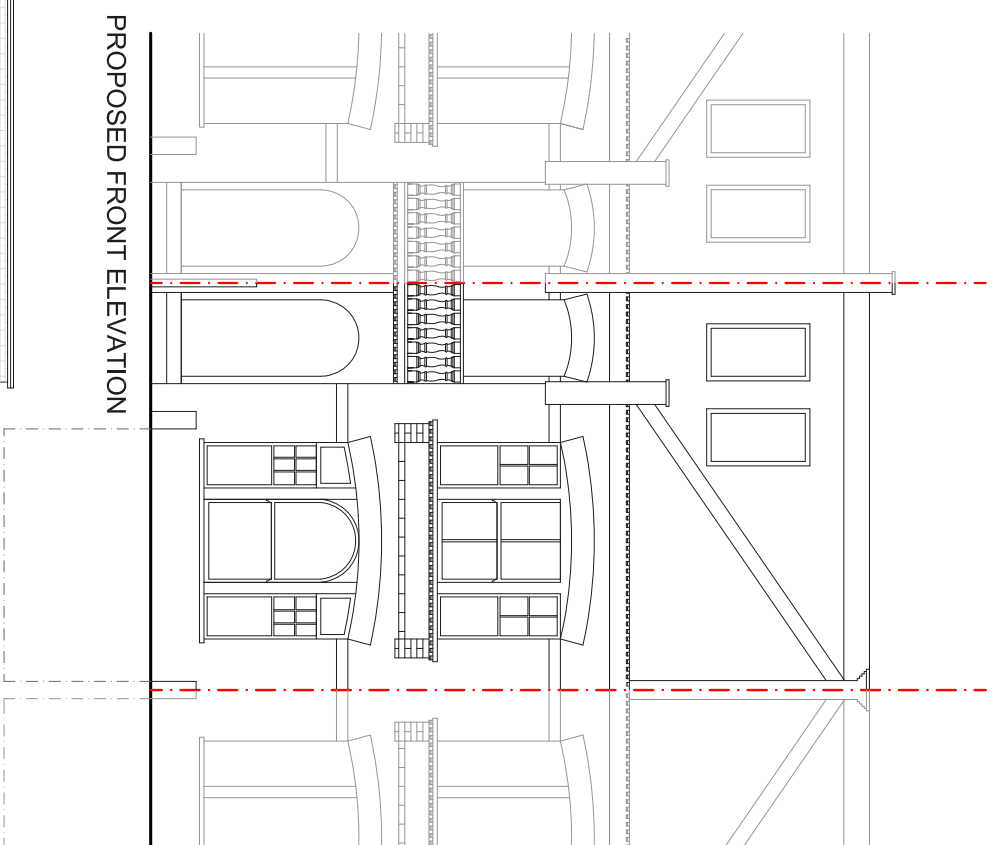


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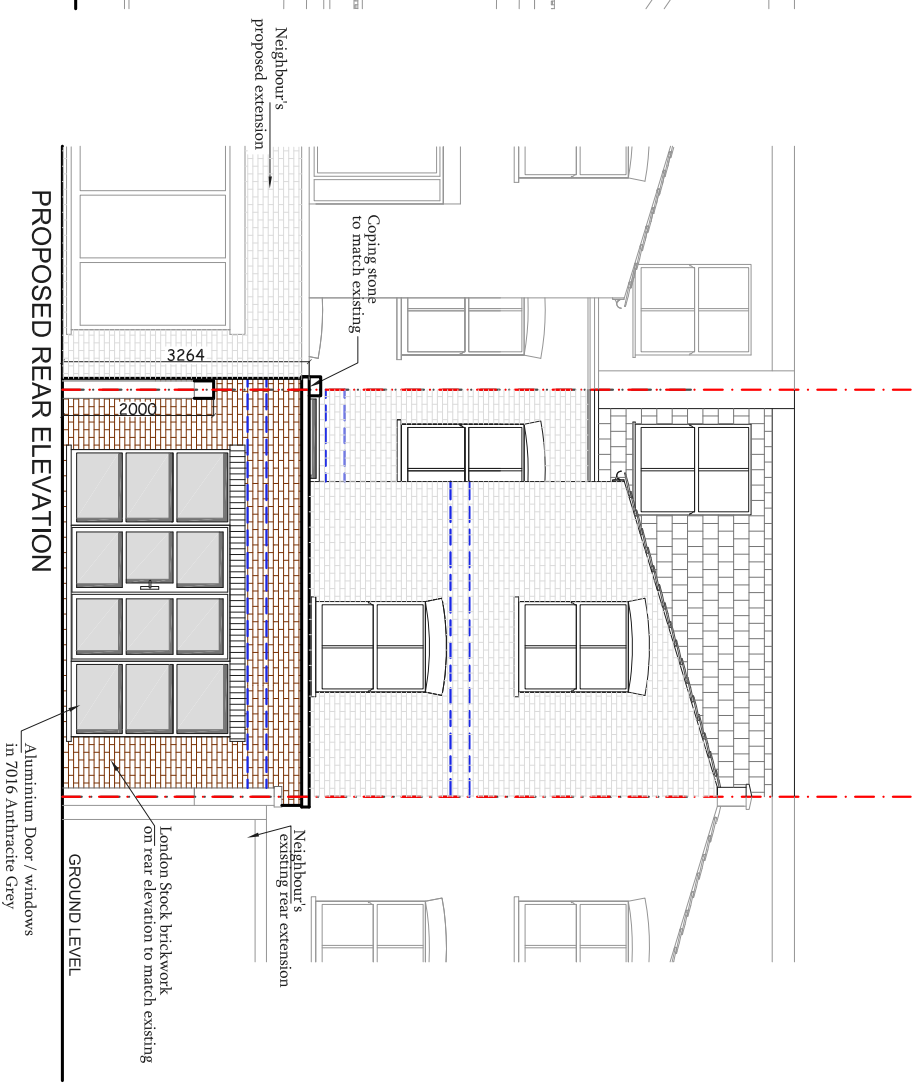
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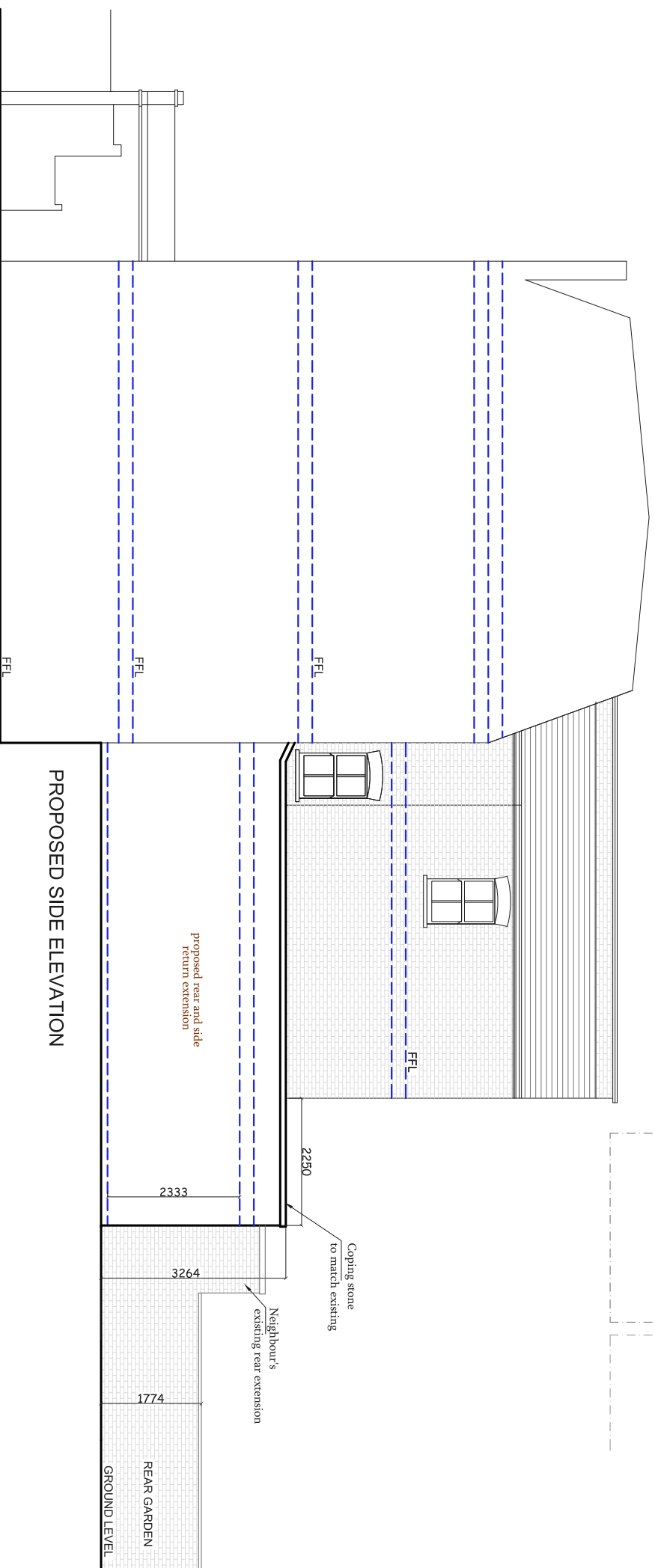
REV	DATE	NOTES



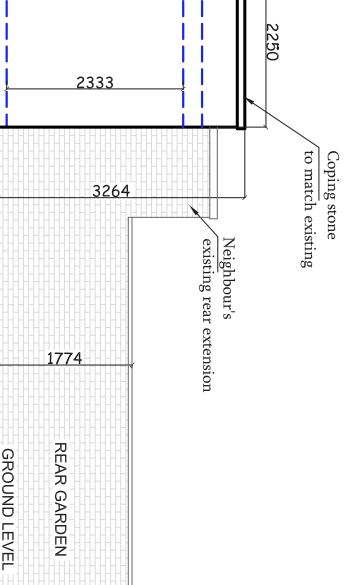
PROPOSED FRONT ELEVATION



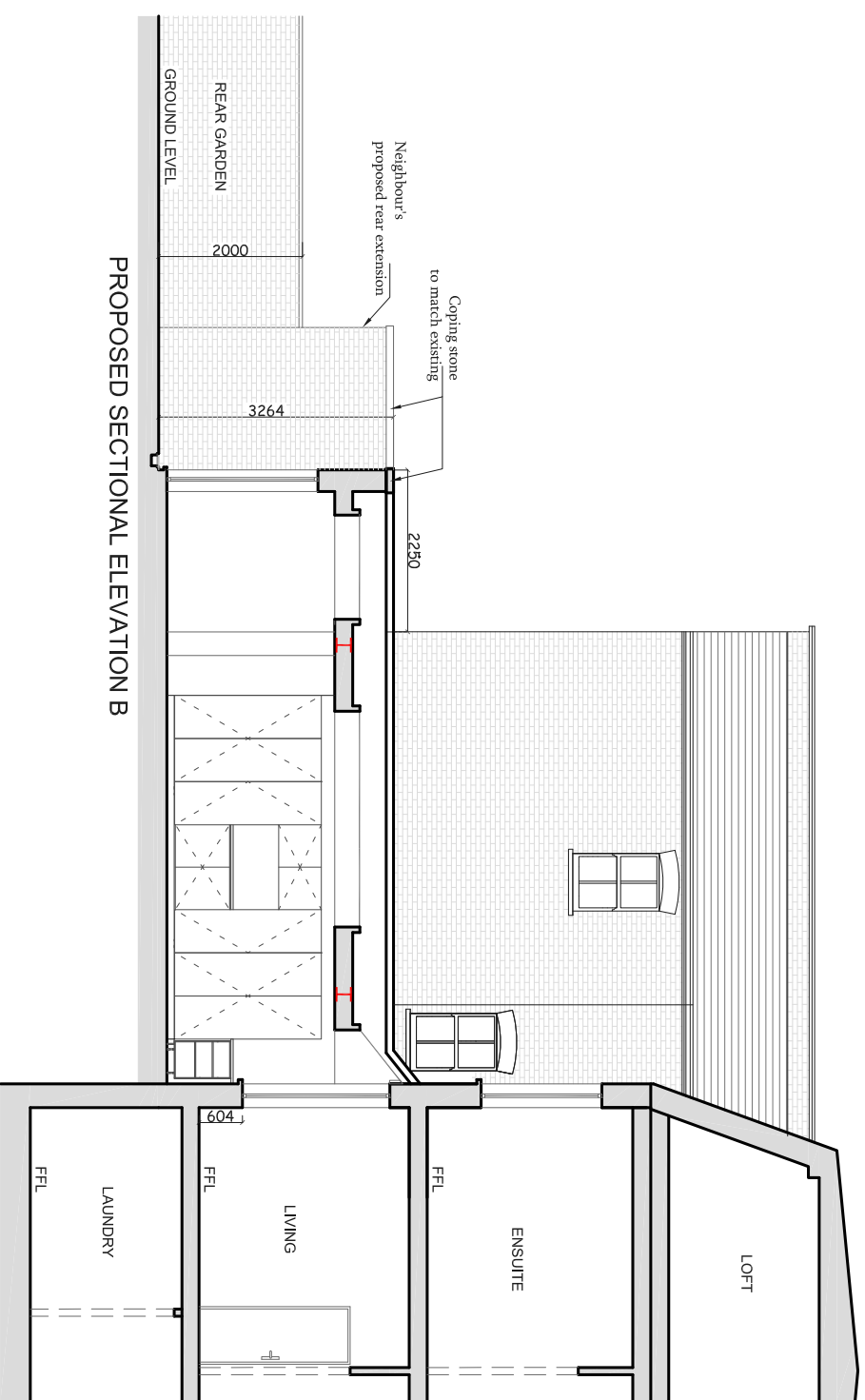
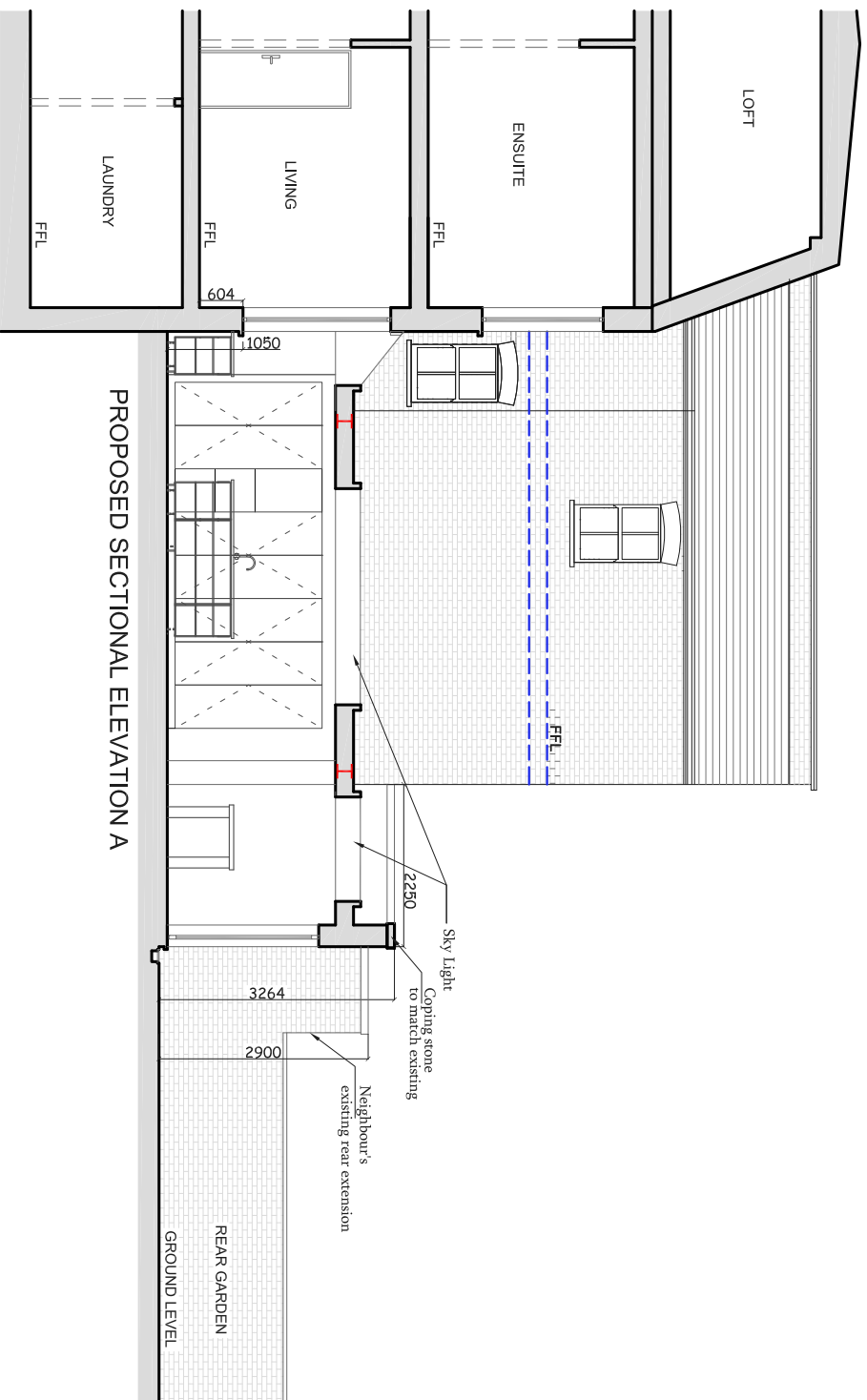
PROPOSED REAR ELEVATION



PROPOSED SIDE ELEVATION



CLIENT		PROJECT		SCALE		DRAWING NO.		REV.	
MR & MRS H		STOKENCHURCH STREET LONDON SW6 3TR		1:100@A3		P3			
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		PROPOSED ELEVATIONS		18-12-12 ENL					
REV	DATE	NOTES		0 1 2 3 4 5		Meters @ 1:100 @ A3			
								buildteam Unit 3D 26-32 Voltaire Rd Clapham SW4 6DH T 020 7495 6561 F 020 7998 6854 www.buildteam.com	



CLIENT	MR & MRS H		
PROJECT	STOKENCHURCH STREET LONDON SW6		
DRAWING TITLE	PROPOSED SECTIONAL ELEVATIONS		
SCALE	1:100@A3	DRAWING NO.	P3-A
DATE	18-12-12 ENL	REV.	

REV	DATE	NOTES

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Meters @ 1:100 @ A3

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