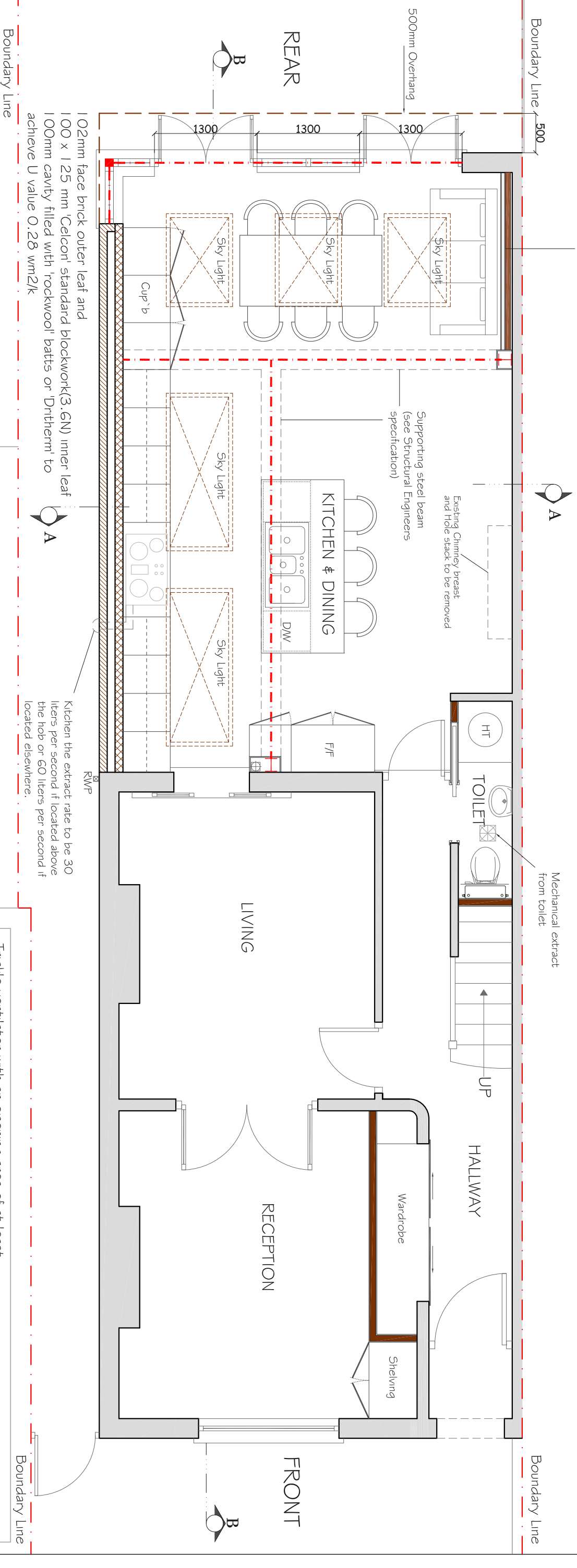


Provide 50mm Kingspan Kooltherm K1.2 framing board between timbers and 37.5mm Kingspan Kooltherm K1.8 insulated plasterboard fixed to timbers metal studs. U-value of not more than 0.28 W/m<sup>2</sup>K is to be achieved.

All glass below 800mm to be Toughened safety glazing to be provided all windows within 300mm of a door. Contractor to provide Pilkington K Glass or equivalent with U-Value of 1.6 W/m<sup>2</sup>K and 16mm Cavity.



102mm face brick outer leaf and 100 x 125 mm 'Celcori' standard blockwork(3.6N) inner leaf 100mm cavity filled with 'rockwool' batts or 'Dnthern' to achieve U value 0.28 w/m<sup>2</sup>K

Kitchen the extract rate to be 30 liters per second if located above the hob or 60 liters per second if located elsewhere.

## PROPOSED GROUND FLOOR PLAN (AMENDED)

All new drains to be connected to new manhole and from there to the mains. Thames water to be notified before connecting to mains. Location of mains to be confirmed on site.

Break out existing manhole and reinstate open channels with closed junction channels and make good the hole of existing manhole Obtain rodding access by building a new man hole at ground level and connecting it via a length of pipe and a 45° bend to a 45° junction on the main drain

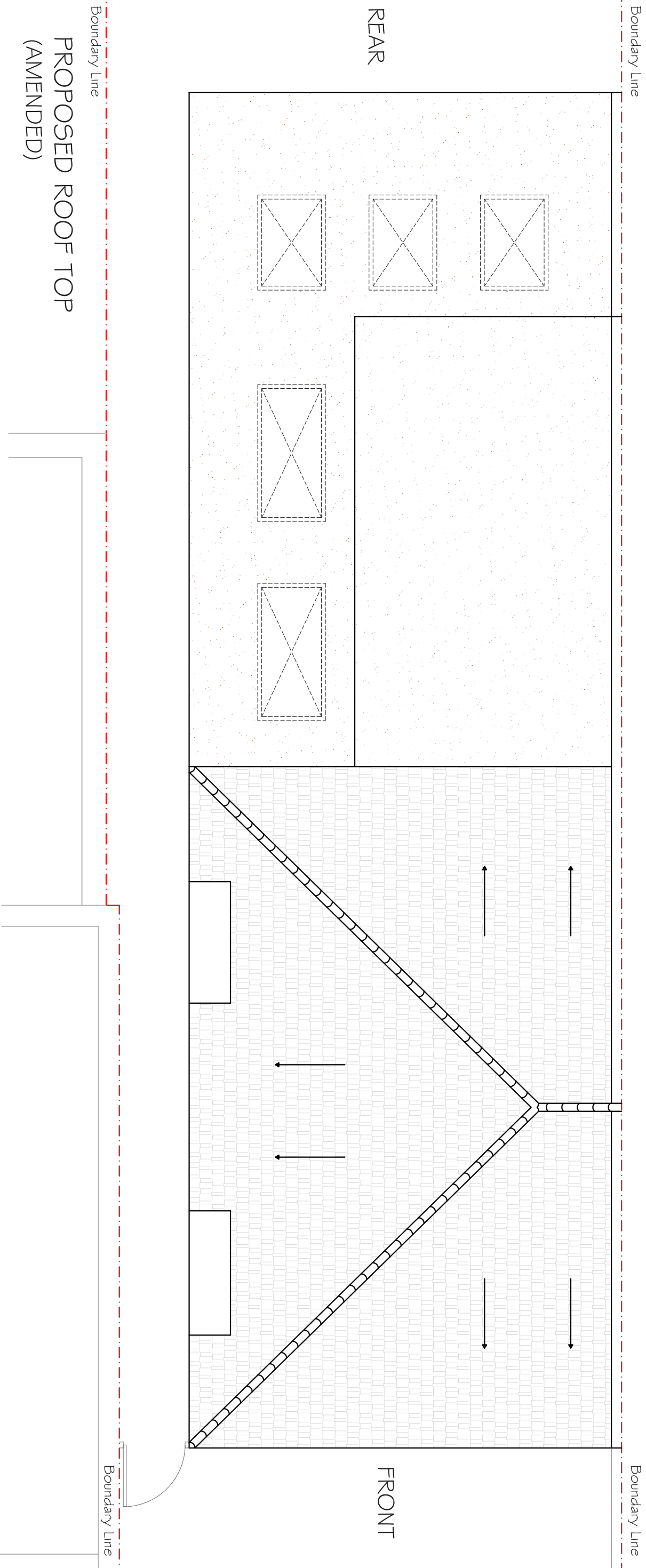
Trickle ventilator with an opening area of at least 8000mm<sup>2</sup> with apartments.

All glass below 800mm to be Toughened safety glazing to be provided all Windows to be complete with lockable ironmongery.

Windows to be ALUMINIUM, all glass to be in accordance with BS: 6262: 1982 or any subsequent revisions.

Provide and lay 100 x 150 mm deep reinforced concrete lintels where existing and new drainage pipes pass below new foundation work.

CLIENT	PROJECT			SCALE	DRAWING NO.		REV.
	R&G			1:50@A3	P1		
	MANSELL ROAD, LONDON W3			DATE	DRAWN		
	DRAWING TITLE			18-06-13	SM		
	PROPOSED GROUND FLOOR PLAN			Meters @ 1:50 @ A3			
REV	DATE	NOTES	DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT DRAWING AND SPECS. FIGURED DIMENSIONS ONLY. ANY DISCREPANCIES ARE TO BE POINTED TO THE ARCHITECT. THE ARCHITECT IS NOT LIABLE FOR ANY FAULTS NOT RAISED IN THE EVENT THAT A CONTRACTOR OTHER THAN BUILD TEAM HOLDORN LIMITED IS APPOINTED TO EXECUTE THE WORKS. BUILD TEAM HOLDORN LIMITED ACCEPTS NO LIABILITY WHATSOEVER FOR THE SPECIFICATION, CALCULATION OR OTHER INFORMATION AS IT SO EXISTS PERTAINING TO THE PROPOSED WORKS CONTAINED HEREWITH.				
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**PROPOSED ROOF TOP  
(AMENDED)**

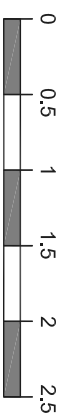
Boundary Line

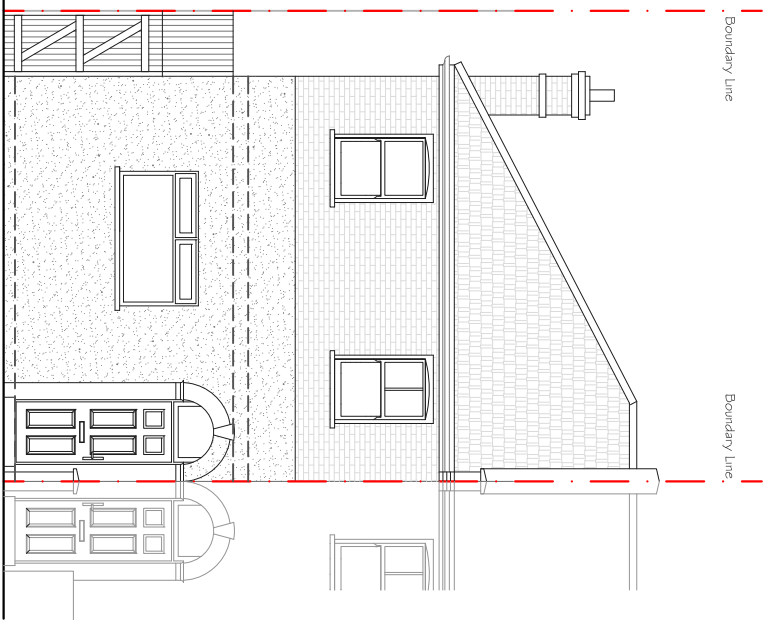
Boundary Line

Boundary Line

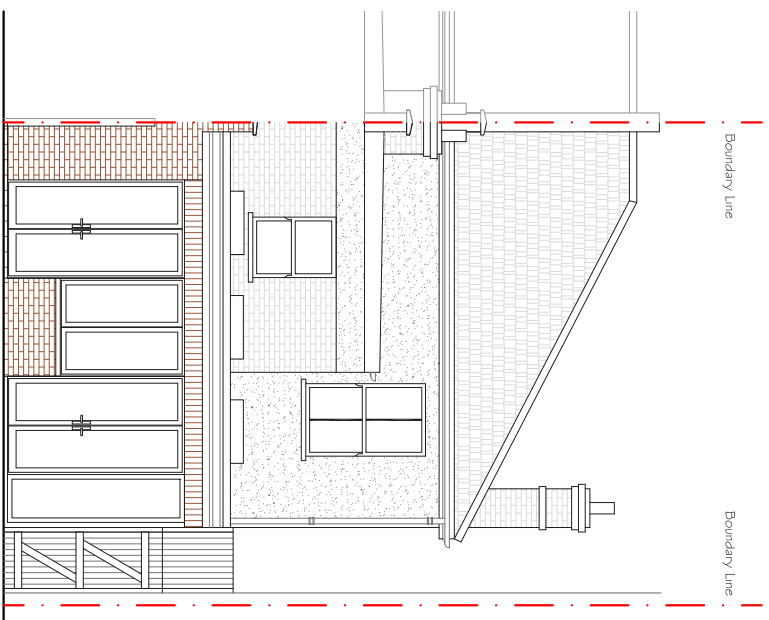
Boundary Line

REV	DATE	NOTES	<p>CLIENT</p> <p><b>R&amp;G</b></p>		<p>PROJECT</p> <p><b>MANSSELL ROAD, LONDON W3</b></p>		<p>SCALE</p> <p><b>1:50@A3</b></p>	<p>DRAWING NO.</p> <p><b>P2</b></p>	<p>REV.</p>	<p><b>buildteam</b></p> <p>Unit 3D 26-32 Voltaire Rd Clapham SW4 6DH</p> <p>T 020 7495 6561 F 020 7998 6854 www.buildteam.com</p>
			<p>DRAWING TITLE</p> <p><b>EXISTING ROOF TOP PLAN</b></p>		<p>DATE</p> <p><b>18-06-13</b></p>	<p>DRAWN</p> <p><b>SM</b></p>				
			<p>PRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT DRAWING AND SPECS. FIGURED DIMENSIONS ONLY. ANY DISCREPANCIES ARE TO BE POINTED TO THE ARCHITECT. THE ARCHITECT IS NOT LIABLE FOR ANY FAULTS NOT RAISED IN THE EVENT THAT A CONTRACTOR OTHER THAN BUILD TEAM HOLDORN LIMITED IS APPOINTED TO EXECUTE THE WORKS. BUILD TEAM HOLDORN LIMITED ACCEPTS NO LIABILITY WHATSOEVER FOR THE SPECIFICATION, CALCULATION OR OTHER INFORMATION AS IT SO EXISTS PERTAINING TO THE PROPOSED WORKS CONTAINED HEREWITH.</p>							

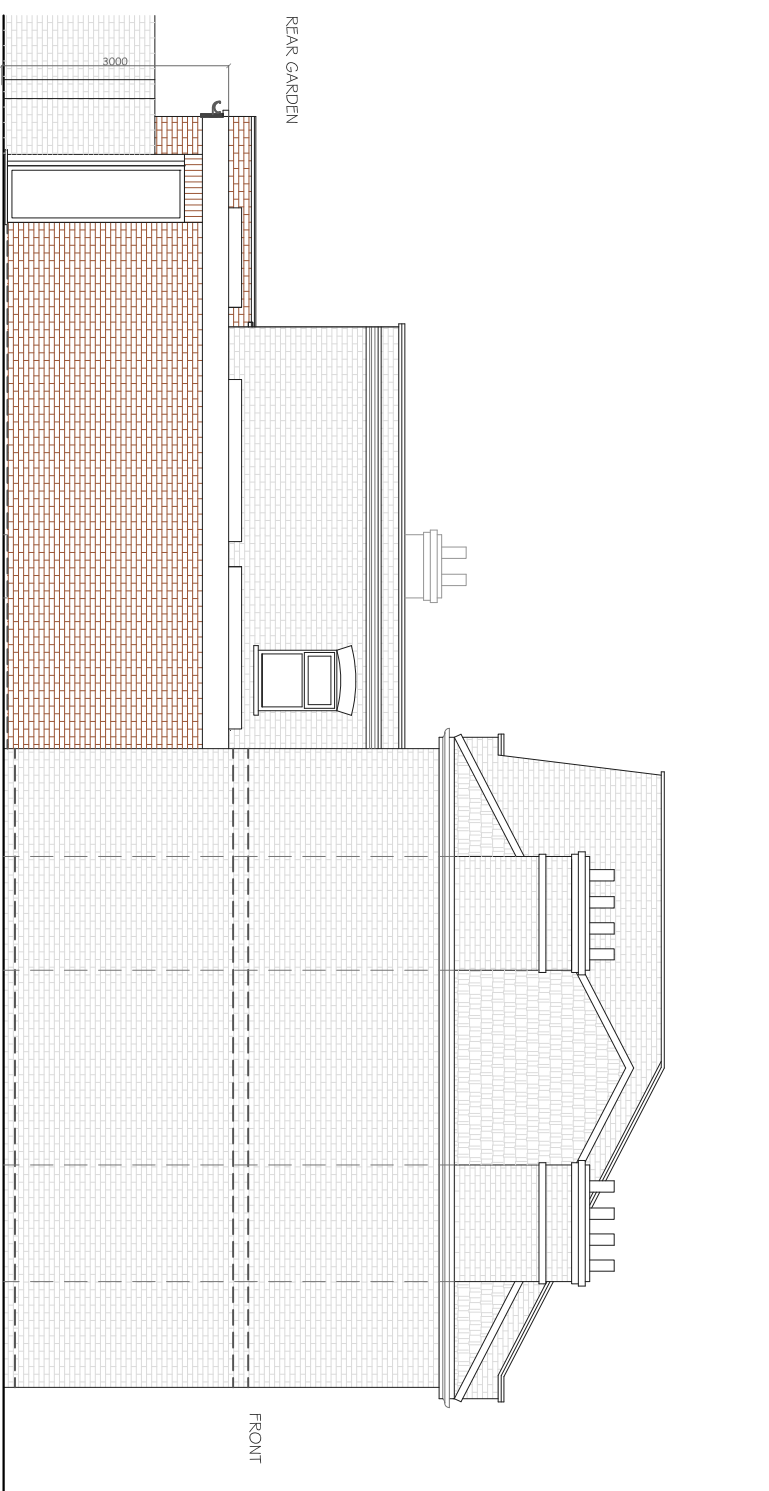




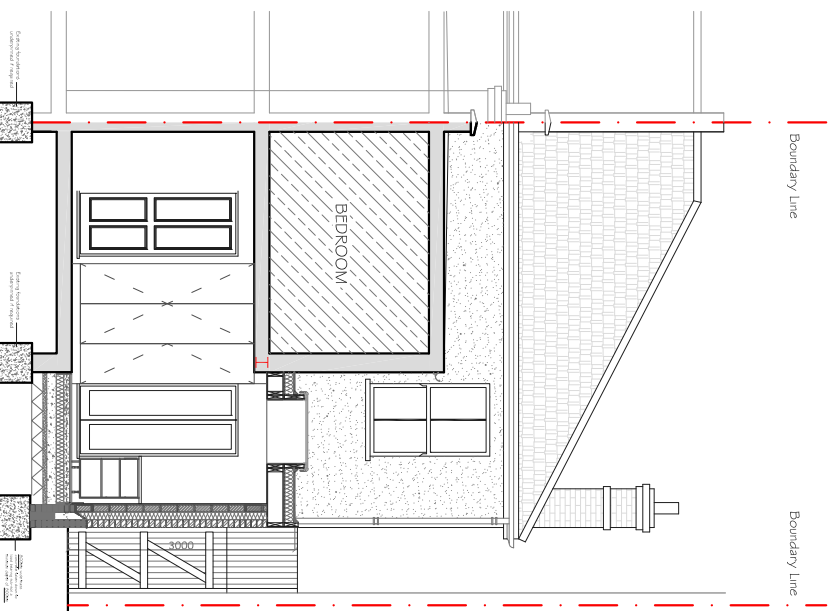
PROPOSED FRONT ELEVATION  
(AMENDED)



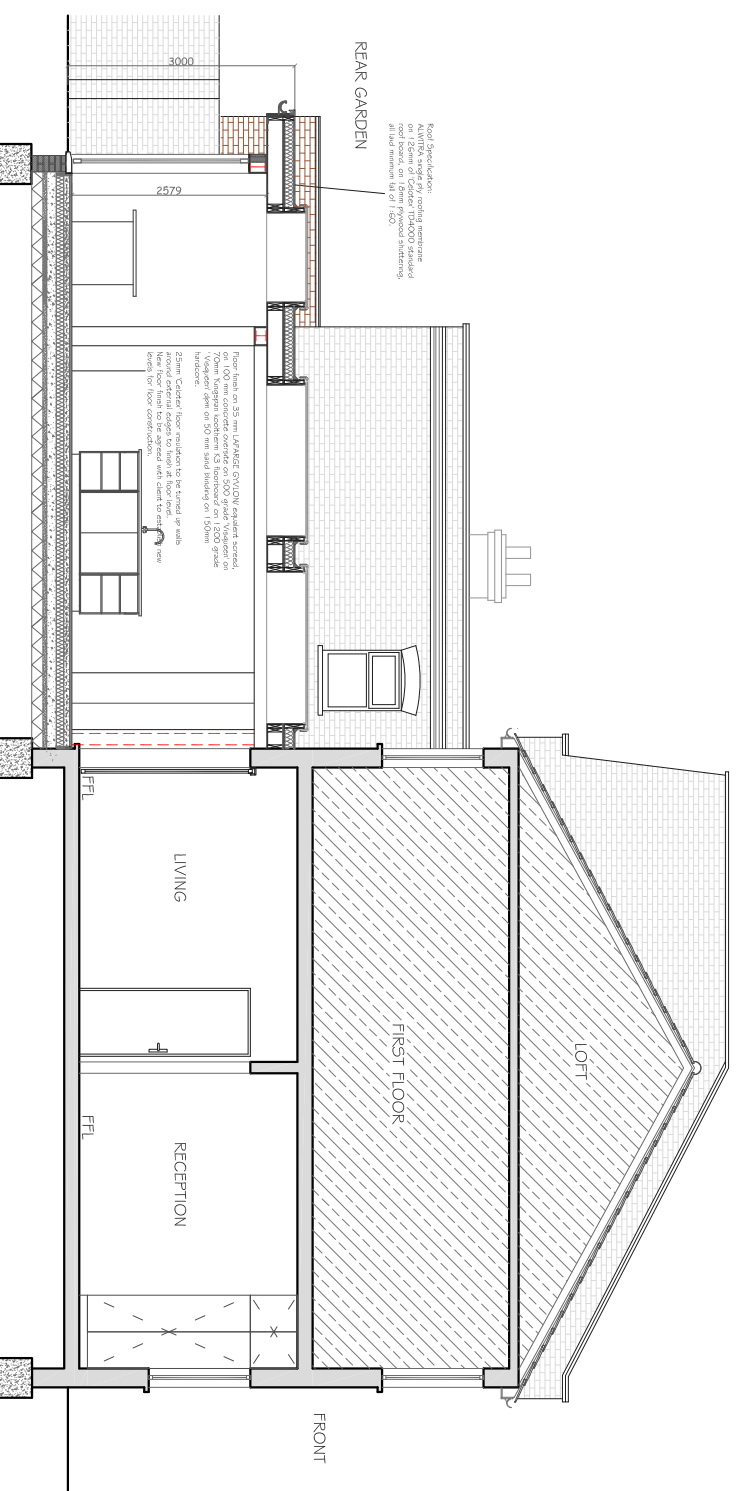
PROPOSED REAR ELEVATION  
(AMENDED)



PROPOSED SIDE ELEVATION  
(AMENDED)



PROPOSED SECTIONAL ELEVATION A  
(AMENDED)



PROPOSED SECTIONAL ELEVATION B  
(AMENDED)

REV	DATE	NOTES

CLIENT  
**R&G**

DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT DRAWING AND SPECS. FIGURED DIMENSIONS ONLY. ANY DISCREPANCIES ARE TO BE POINTED TO THE ARCHITECT. THE ARCHITECT IS NOT LIABLE FOR ANY FAULTS NOT RAISED IN THE EVENT THAT A CONTRACTOR OTHER THAN BUILD TEAM HOLDORN LIMITED IS APPOINTED TO EXECUTE THE WORKS. BUILD TEAM HOLDORN LIMITED ACCEPTS NO LIABILITY WHATSOEVER FOR THE SPECIFICATION, CALCULATION OR OTHER INFORMATION AS IT SO EXISTS PERTAINING TO THE PROPOSED WORKS CONTAINED HEREWITH.

PROJECT  
**MANSSELL ROAD,  
LONDON W3**

DRAWING TITLE  
**PROPOSED ELEVATIONS  
& SECTIONS**

SCALE	1:100@A3	DRAWING NO.	P3	REV.
DATE	18-06-13	DRAWN	SM	
<p>Meters @ 1:100 @ A3</p>				

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